

**Brighton And Hove Bus
Garage, 43 Conway Street
BH2021/01731**



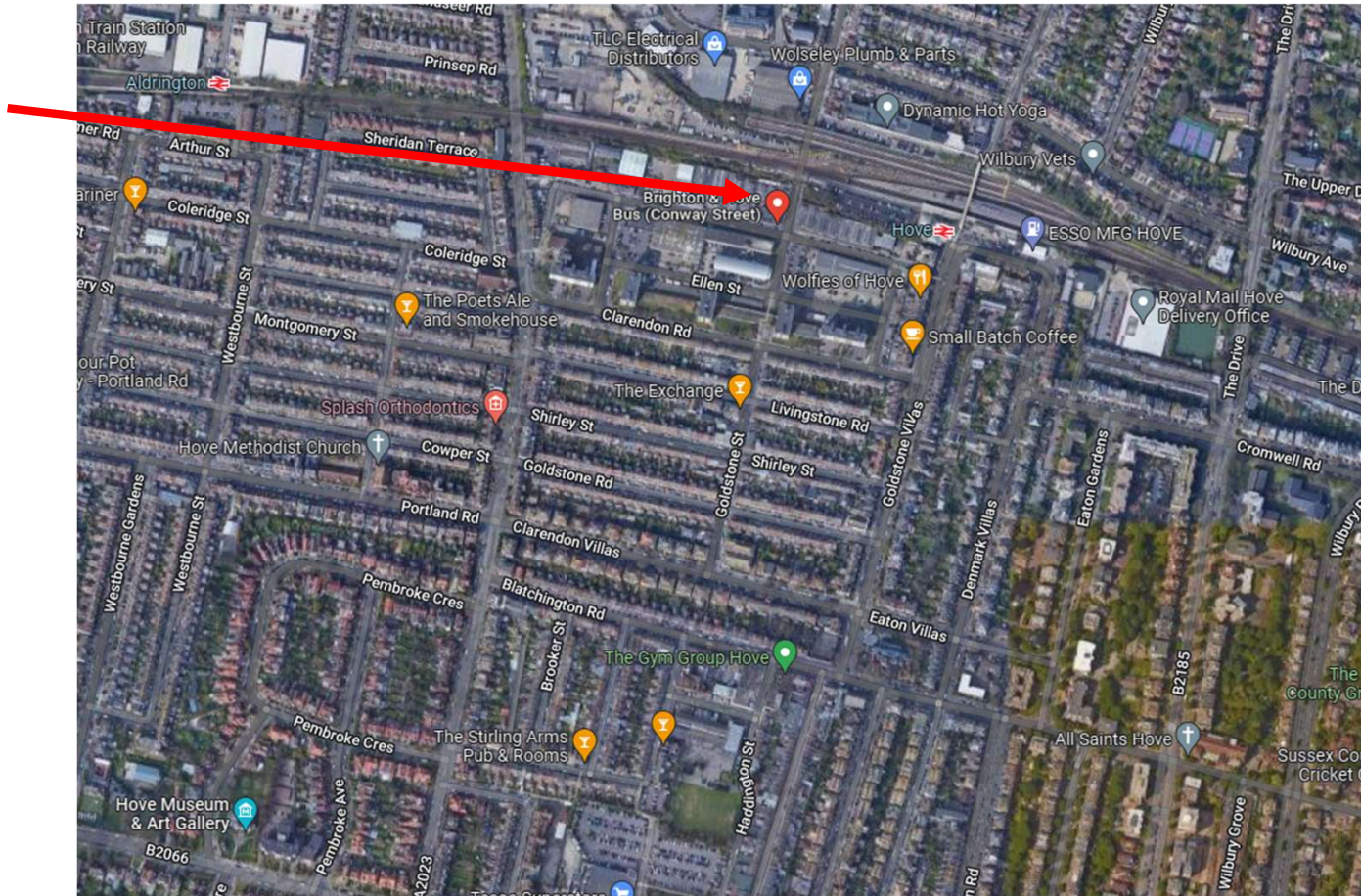
**Brighton & Hove
City Council**

Application Description

Demolition of existing buildings and the erection of new four storey bus garage building including office and engineering floorspace, external bus parking provision and new boundary treatment

Location of application site

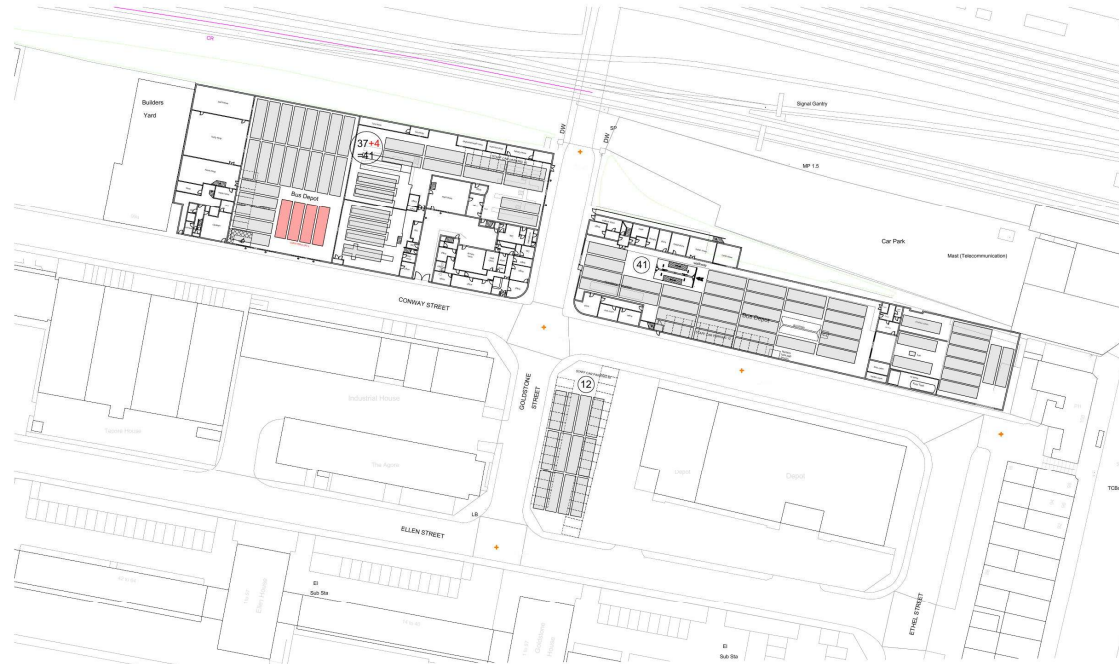
Site



Existing Location Plan

BUS VEHICLES PARKED	
West Garage	41
East Garage	41
Goldstone Street	12
TOTAL	94

STAFF CAR PARKING	
West Garage	18
East Garage	12
Goldstone Street	35
TOTAL	67



1:500 EXISTING SITE PLAN
EXISTING

1:500

Notes
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Rev: 1 Date: 14.05.21 Description: Scope for added

Project Number: 20 002 Drawing Number: E 100

Rev: 01

Scale: 1:500@A1 Date: 22.01.2021

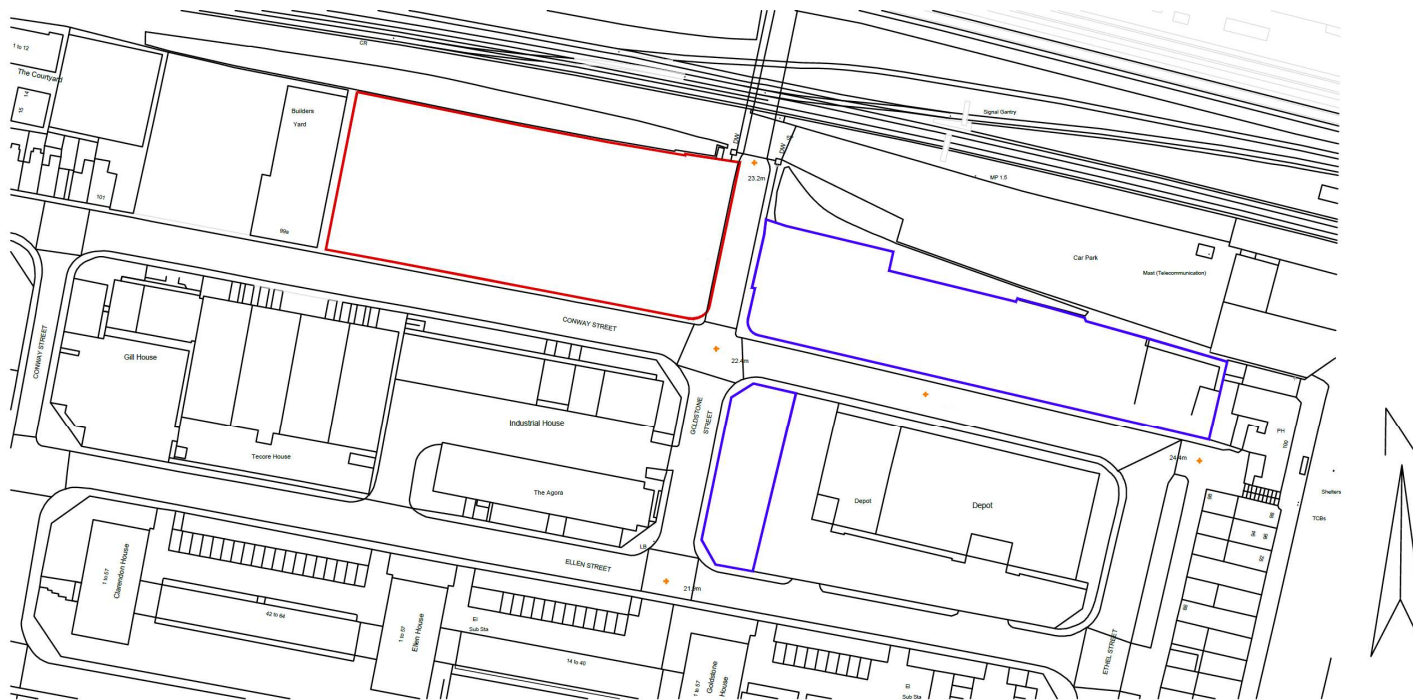
Site: A1 Drawn By:

Site Address: CONWAY STREET, HOVE

Title: EXISTING SITE PLAN



Proposed Location Plan

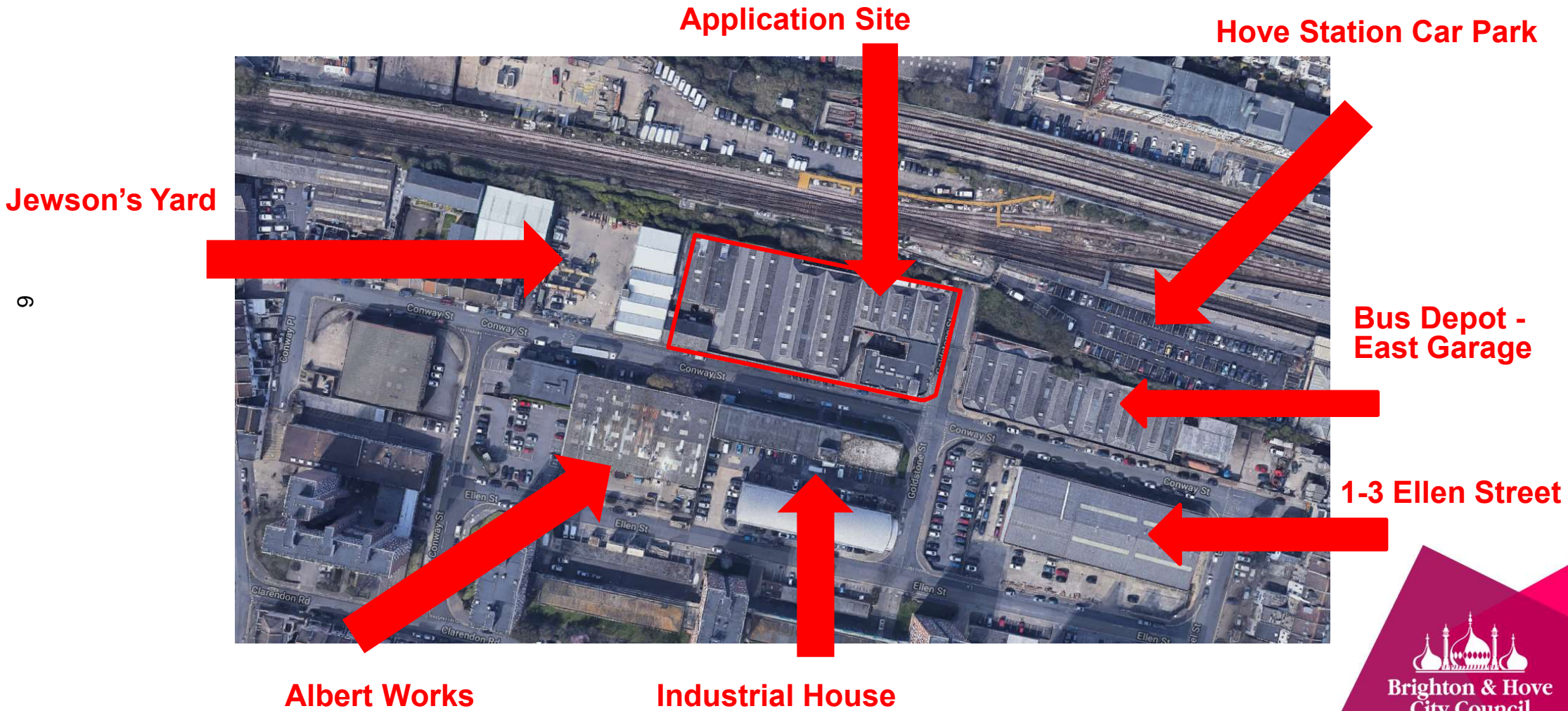


1
OS 50

1:1250 CONWAY STREET PROPOSED SITE PLAN
PROPOSED

OS50 REV 00

Aerial photo(s) of site



3D Aerial photo of site



Brighton & Hove
City Council

Street photo (Fonthill Road)



Street Photo (Conway Street)



Google



Brighton & Hove
City Council

Neighbouring Sites to West



Brighton & Hove
City Council

Applicant Contextual Analysis

Brighton and Hove Buses: Hove West Garage redevelopment

Photographs of surrounding building context



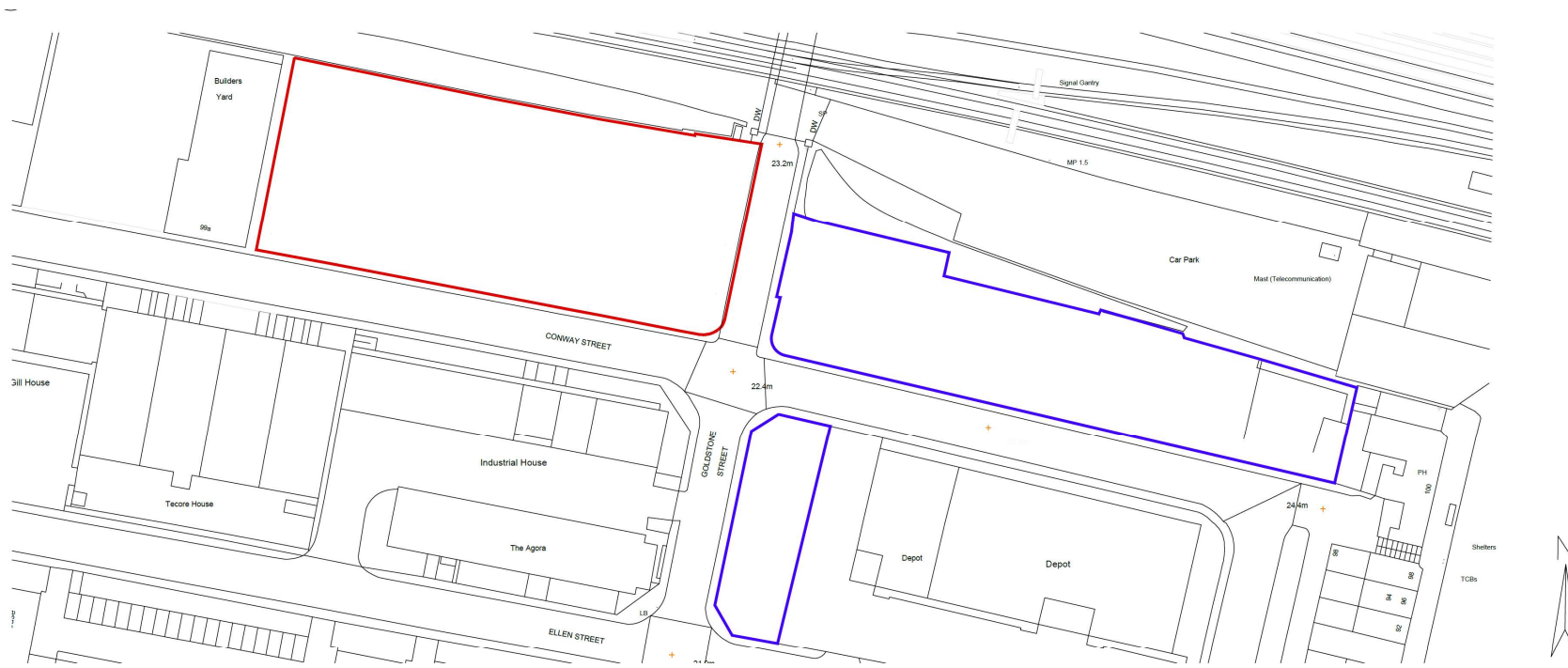
Photographic detail. Shot by P Dines Gerald Eve, Canon eos 6D 17-124mm lens & 11 2021 09:30 Interval no additional lighting



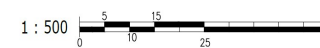
Brighton & Hove
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Proposed Block Plan

12



1
OS 50
1:500 CONWAY STREET PROPOSED SITE PLAN
PROPOSED



OS50 REV 00

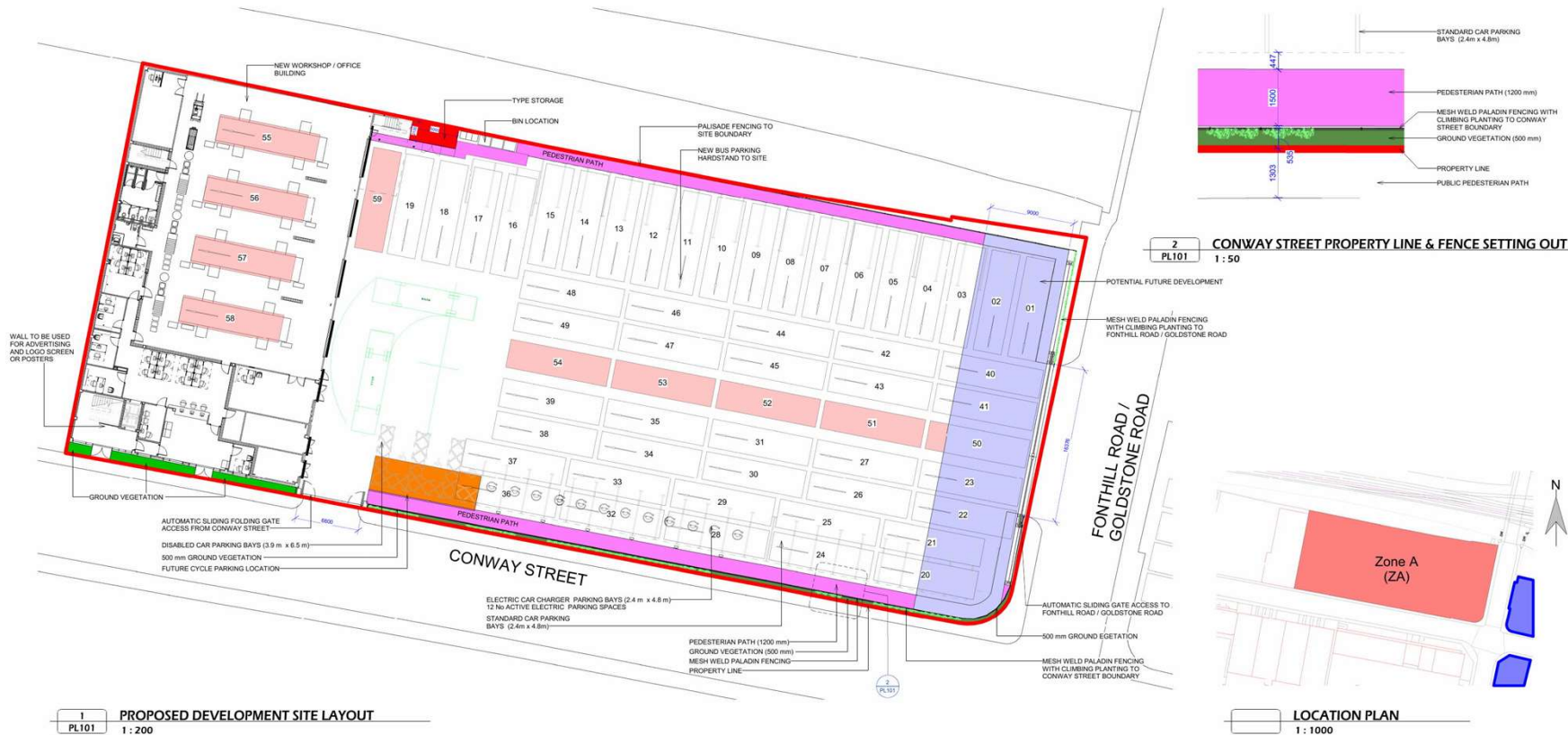


Proposed Site Layout

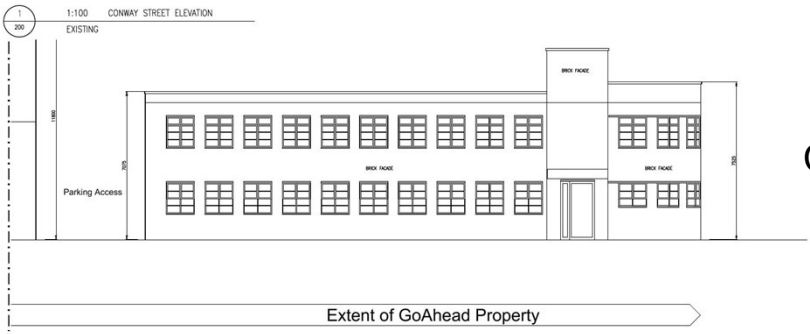
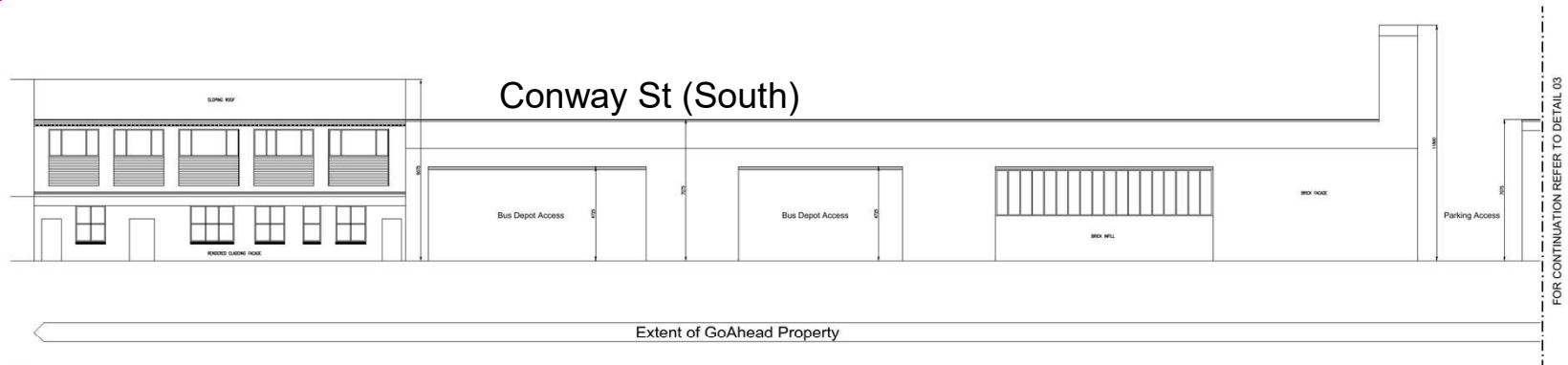
NOTE : BUS FOOTPRINT BASE ON
L10800 mm x W3000 mm
500 mm BETWEEN BUS LENGTHS
700 mm BETWEEN BUS WIDTH

BUS VEHICLES PARKED	
West Garage	49
West Garage on circulation route	6
Parking on Workshop bay	4
TOTAL	59

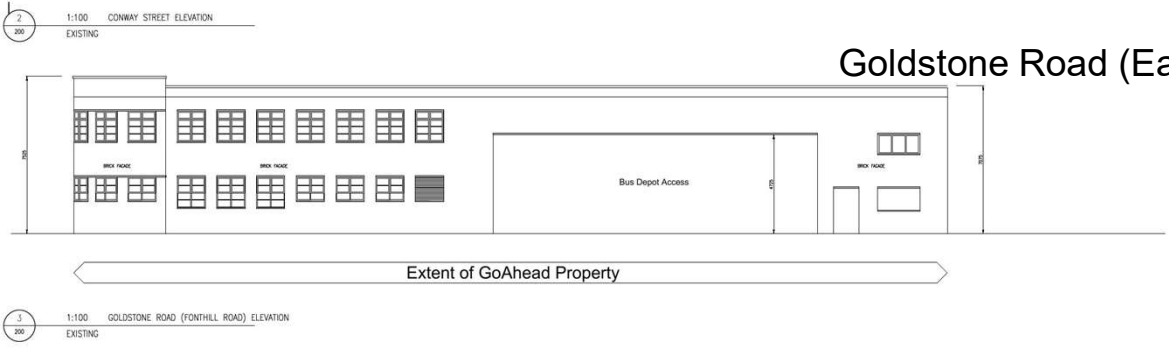
DEVELOPMENT FOOTPRINT	
Site Development Gross Area	4217,36 m ²
Hardstand Area	3198,26 m ²
Proposed Building Ground Level	1011,70 m ²



Existing Street Elevations



Conway St (South) - continued



Goldstone Road (East)



Proposed South Elevation (Conway Street)



1 SOUTH ELEVATION
PL200 1:100

PL200-P2



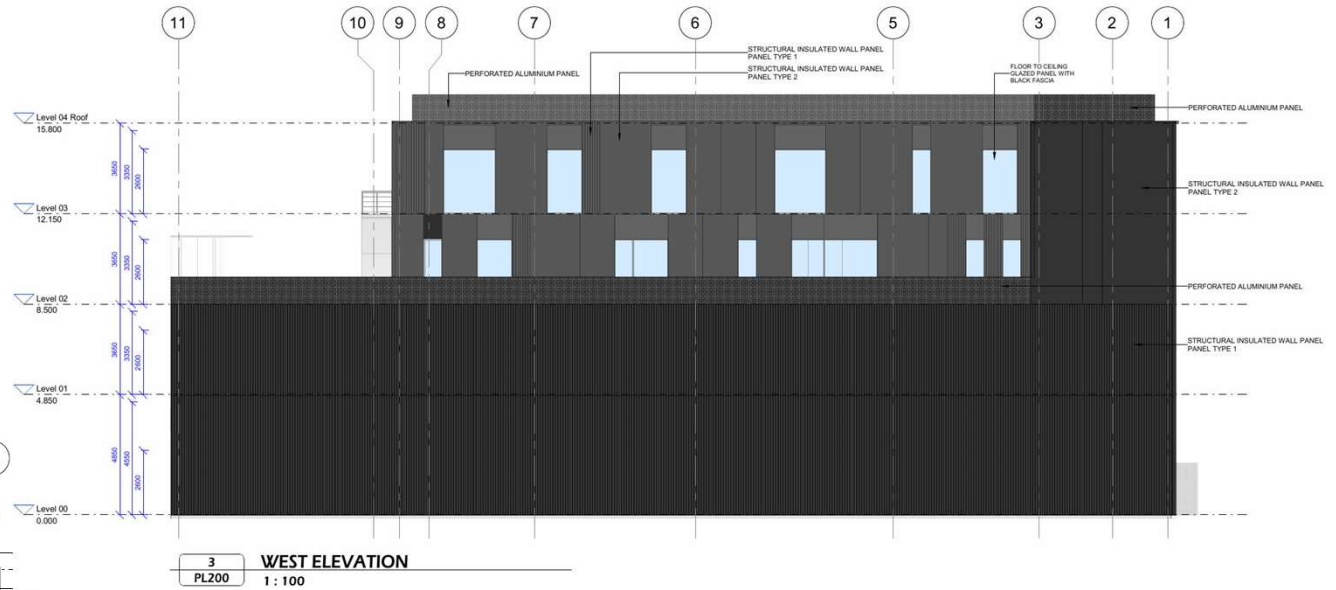
Proposed East Elevation



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ID

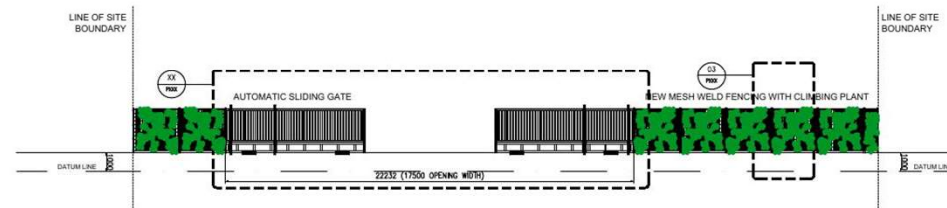
Proposed North and West Elevations



Proposed Street Elevations



1 SITE ELEVATION CONWAY STREET
PL212 1:200



4 1:200 GOLDSTONE ROAD
201 PROPOSED

Proposed Building Visual



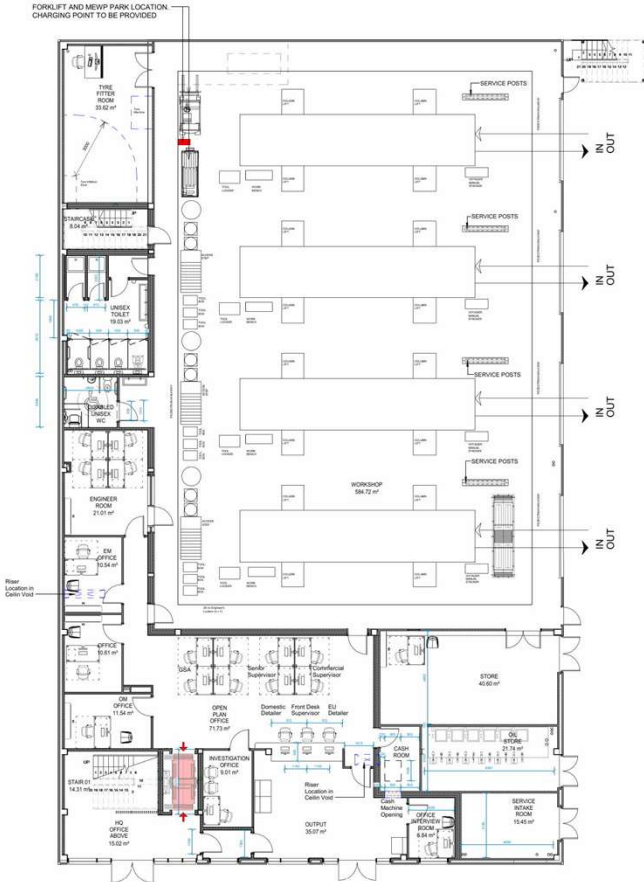
19

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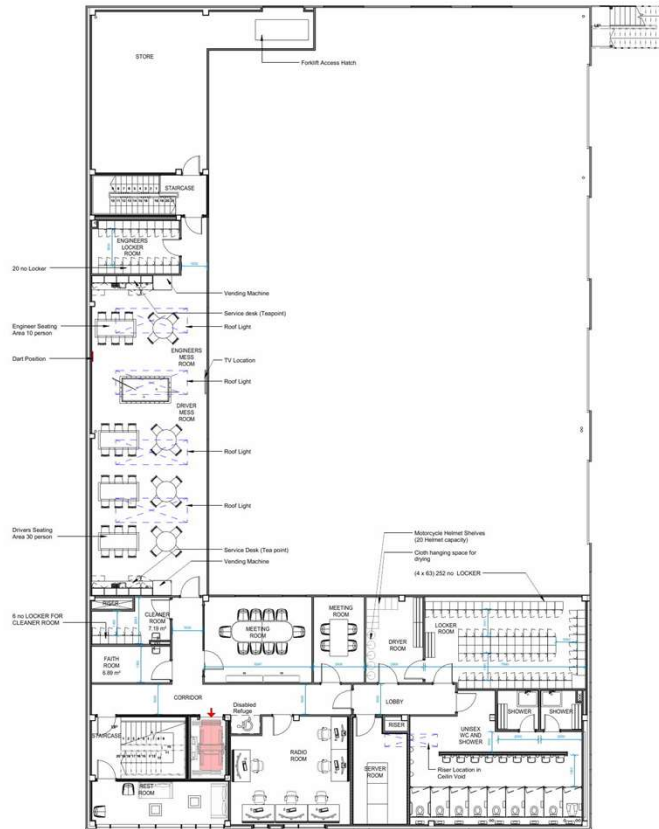


Proposed Floor Plans

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1 PROPOSED GROUND FLOOR PLAN
PL102 1 : 100

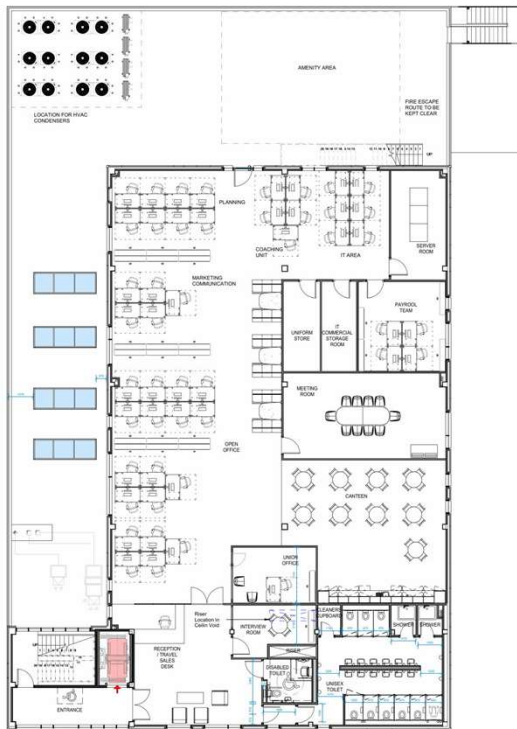


2 PROPOSED FIRST FLOOR PLAN
PL102 1 : 100

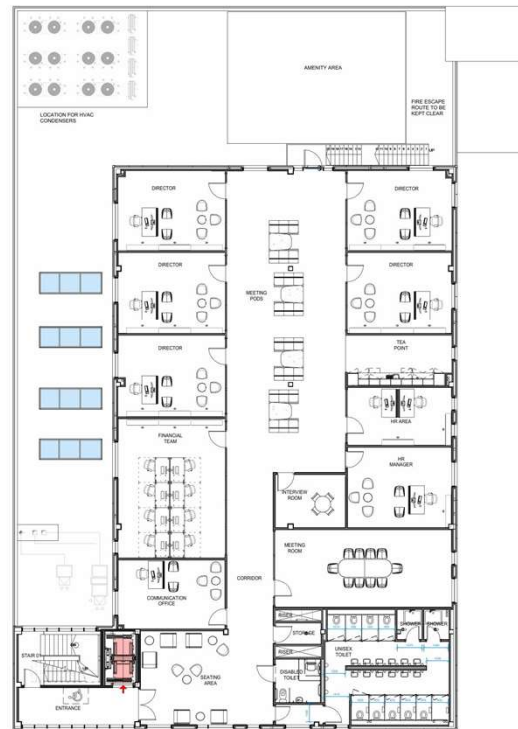


Proposed Floor and Roof Plans

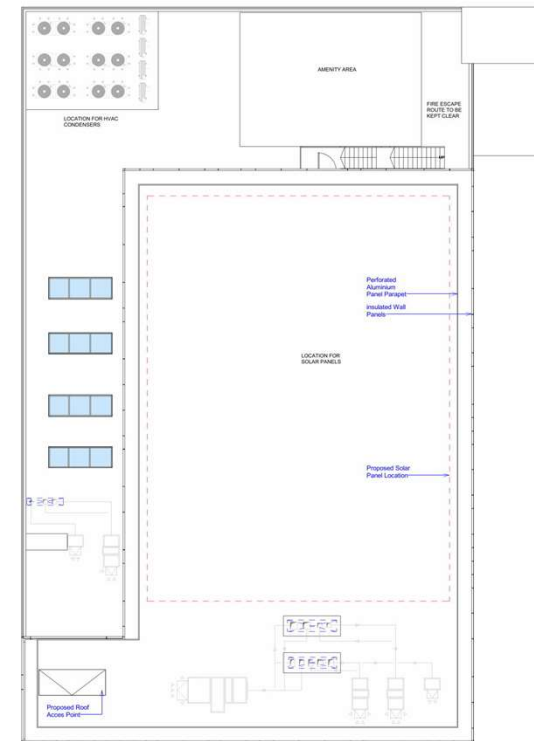
21



1 PROPOSED HQ - SECOND FLOOR PLAN
PL103 1:100



2 PROPOSED HQ - THIRD FLOOR PLAN
PL103 1:100



1 PROPOSED ROOF PLAN
PL104 1:100

Key Considerations in the Application

The main considerations in the determination of this application relate to:

- The principle of the development
- Impact on character and importance of nearby locally listed heritage assets and the wider area
- Impacts upon neighbouring amenity including noise/disturbance
- Sustainable drainage
- Air quality
- Sustainability
- Landscaping
- Ecology
- Traffic implications.

S106 table

Travel Plan

To promote safe, active and sustainable travel choices by its future occupiers and visitors.

Highway Works

Reinstatement of existing footway on Conway Street where existing vehicular access is to be removed

Extension of vehicle access on Fonthill Road

Employment and Training

Employment and Training Strategies for the provision of local employment opportunities with 20% of any new roles created from the demolition and construction phases of development, at least one month before the intended date of formal commencement of the development.

Conclusion and Planning Balance

- Would support objectives for sustainable economic development, compatible with employment priorities for the Hove Station area, would enable the City's bus company to modernise and increase efficiency, supporting the aim to provide a sustainable transport system.
- Would support on-site employment through the servicing of buses and with provision of office floorspace, as well as supporting off-site employment such as bus drivers.
- Design would in general support priorities for the Hove Station area, including improvements to the public realm and green infrastructure.
- The use of open bus parking, for a temporary period (restricted for 10 years by condition), would not result in significant impact on nearby heritage assets, visual amenity, or neighbouring amenity.
- Other factors including impacts relating to neighbour amenity impact, ecology, sustainability, landscaping, flood risk, land contamination, and air quality have been assessed and have been considered acceptable.
- Whilst the proposed scheme would not achieve the long-term ambitions of the draft Masterplan SPD18 regarding active frontage to the east site boundary, it is considered that the scheme would meet short term operational requirements which is acknowledged in SPD18, and would therefore be in broad conformity with the strategy and project timeline set.
- Overall, the scheme is considered acceptable and it is recommended for approval subject to the conditions and s106 requirements set out in this report.

